

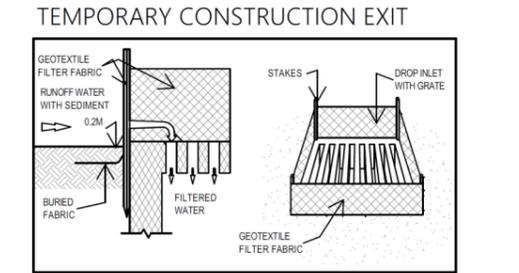
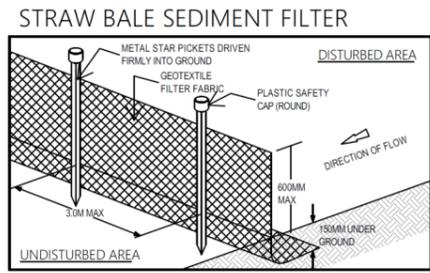
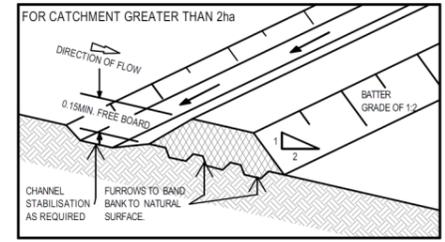
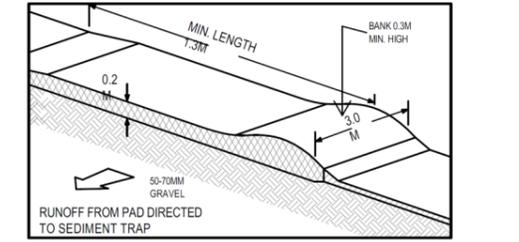
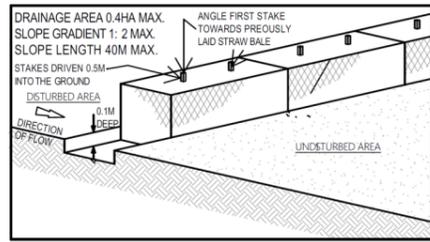
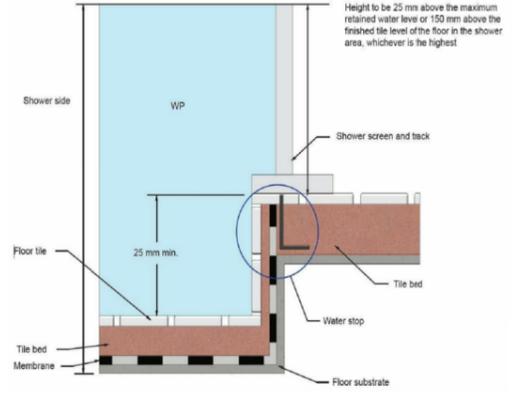
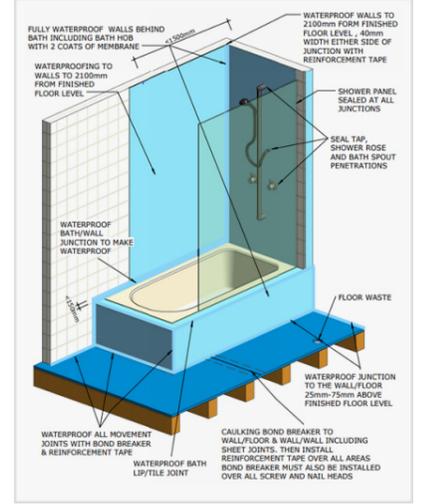
GENERAL NOTES AND DETAILS

1. Do Not Scale. All Dimensions are in millimeters.
 2. Contractor/Builder to check and verify all levels and dimensions on site and shall report any discrepancies or omissions to this office prior to start of construction works & during the construction phase.
 3. Drawing is to be read and understood in conjunction with structural, mechanical, electrical and / or any other consultant/s documentation as may be applicable to the project prior to start or work & its duration
 4. Any additional request for information is to be referred to the architect or engineer in writing.
 5. All Construction Practices shall be in accordance with the general requirements of the Building Code of Australia (BCA), Australian Standards and local government regulations & The Principal Certifying Authority.
 6. Erosion & sediment control measures to be in place prior to excavation or construction work.
 7. Where applicable, all sediment basins and traps shall be cleaned when structures are a maximum of 60% full of soil materials, including the maintenance period.
 8. Filter shall be constructed by stretching filter fabric (propex or approved equivalent) between post at 2.0m centres. Fabric shall be buried 150mm along its lower edge.
 9. Revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of NSW.
 10. All siteworks indicated are illustrative only.
 11. Final levels may be subject to adjustment, such adjustments, while complying with council requirements remain at the discretion of the Builder and must obtain such variations of final levels from council or PCA in writing.
 12. This plan has been prepared from a combination of field survey and existing records for the purpose of construction on the land and should not be used for any other purpose.
 13. The builder shall engage a Registered Surveyor to peg-out all structures shown on plans.
 14. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location or further underground services and detailed location of all services.
 15. Contours have been interpolated from the spot heights taken.
 16. All demolition work to be carried out in accordance with AS 2601-2001, refer to NSW Occupational Health and Safety Act & regulations and NOHSC guide to control of Asbestos Hazards in building and structures during demolition. Removal of all asbestos must be carried out by licensed contractors.
 17. Protection measures are required for each tree being retained on site and shall be established before operations begin and construction in accordance with Council's requirements (also refer to Arborist report for details).
 18. During construction the stability of the structure shall be the builder's responsibility.
 19. Builder shall make good all disturbed areas adjacent to the works on Council's road, Footpaths are to be restored on the satisfaction of the principal certifying authority & local authority (also refer to DA conditions).
 levels to hydraulic engineer's details and specifications.

26. All balustrades to terraces, balconies and stairs to comply with BCA
 27. All wet areas to have floors which fall to floor wastes.
 28. Unless the door in a sanitary room swings out or slide, where distance between the path of door swing and toilet suite is less than 1.2m, the door must be installed with removable (Lift-Off) hinges.
 29. All materials and form of construction to comply with BCA requirements.
 30. All materials & assemblies to have fire hazard properties to comply with BCA.
 31. Refer to BASIX certificate for Water, Thermal Comfort & Energy performance requirements.
 32. All wet areas to comply with AS 3740. Wall finished shall be impervious to a height of 1800mm above floor level to shower enclosures and 300mm above baths, basins, sinks and troughs if within 75mm of the wall. Refer to code for all requirements.
 33. Shower screens shall be Grade A safety glass.
 34. Window sizes are nominally only, actual size will vary according to manufacturer. Windows to be flashed all round.
 35. Stormwater shall be taken to legal point of discharge as advised by municipal drainage engineer. Contact the Council if unsure of point of discharge.
 36. Sewer or septic system shall be in accordance with the relevant authorities requirements.
 37. Footings not to encroach title boundaries and easement lines. Builder to ensure this does not occur.
 38. Provide wall ties to brickwork at a maximum of 600mm centres in each direction and within 300mm of articulated joints.
 39. Sub floor vents & clearances to BCA
 40. Stair & Handrail requirements to BCA (domestic only)
 Risers - 190mm maximum - 150mm minimum
 Going 355 maximum - 240mm minimum.
 Handrail 1000mm minimum height to balconies and decks which are 1000mm or more above ground level.
 41. The builder shall take all steps necessary to ensure the stability of new and existing structures during all works.
 42. The builder shall ensure for the general watertightness of all new and existing works.
 43. Smoke alarms to be provided and installed in accordance with AS 3786. New dwellings and additions with sleeping accommodation to be hard wired with back-up battery.
 44. All work shall comply with, but not limited to the following Australian Standards:
 AS 1288: Glass in Buildings - Selection and Installation
 AS 1562: Design and Installation of Sheet Roof and Wall Cladding
 AS 1684: Residential Timber Framed Construction
 AS 1860: Installation of Particle Board Flooring
 AS 2047: Installation and Selection of Windows
 AS 2049: Roof Tiles
 AS 2050: Fixing of Roof Tiles
 AS 2870: Residential Slabs and Footings
 AS 2904: Damp Proof Courses and Flashings
 AS 3500: Plumbing & Drainage
 AS 3600: Concrete Structures
 AS 3660: Protection of Buildings from Subterranean Termites
 AS 3700: Masonry in Buildings
 AS 3740: Waterproof of Wet Areas in Residential Construction
 AS 3959: Construction in a Bushfire Prone Area
 AS 3786: Smoke Alarms
 AS 4055: Wind Loadings for Housing
 AS 4100: Steel Structures
 Note: All proprietary items, products & systems shall be installed in accordance

• Roof and Wall External Linings
 Refer to Schedule of External Finishes for selection of external linings
 Building Code of Australia 2019 part 3.5 - Roof and Wall Cladding.
 AS 1562.2 - Design and Installation of Sheet Roofing and Wall Cladding - Metal
 AS/NZS 1562.2 - Design and Installation of Sheet Roof and Wall Cladding - Corrugated
 fibre-reinforced Cement
 AS/NZS 4200 - Installation of Pliable Membrane and Underlay
 • Sarking
 All sarking used shall be:
 • Non-combustible, or
 •Breathable type sarking complying with AS/NZS 4200.1 and with a flammability index of not more than 5 (see AS1530.2) and sarked on the outside of the frame, or
 • An insulation material conforming to the appropriate Australian Standard for that material.
 • Stairs, Balustrades and Pool Fencing
 Building Code of Australia 2019 Part 3.9 - Safe Movement and Access
 AS 1926.1 - Safety Barriers for swimming pools
 • Ceiling, Wall and Floor Internal Linings
 Refer to Schedule of Internal Finishes for selection of internal linings
 AS 2588 - Gypsum Plasterboard
 AS 2589 - Gypsum Linings in Residential and Light Commercial Construction - Application and Finishing
 AS2455 - Textile Floor Coverings - Installation Practice
 AS 3958.1 - Ceramic Tiles - Part 1 Guide to the Installation of Ceramic Tiles
 AS 3958.2 - Ceramic Tiles - Part 2 Guide to the selection of Ceramic Tile System
 AS 2358 - Adhesives for Fixing Ceramic Tiles
 • Windows, Doors and Glazing
 Refer to Schedules of finishes for window, door and glazing selection and finishes
 Refer to Window and Door Schedule for window and door type, size and location
 Refer to Architectural Drawings for internal doors location
 Building Code of Australia 2019 Part 3.6 - Glazing
 AS 1288 - Glass in Buildings - Selection and Installation
 AS 2047 - Windows in Buildings - Selection and Installation
 AS/NZS 2208 - Safety Glazing Materials in Buildings
 AS 2688 - Timber Doors
 AS 2689 - Timber Door Sets
 • Wet Areas
 Building Code of Australia Part 3.8 - Health and Amenity
 AS 3740 - Waterproofing of Wet Areas Within Residential Buildings
 AS 4386.1 - Domestic Kitchen Assemblies - Kitchen Units
 AS 4386.2 - Domestic Kitchen Assemblies - Installation

The following measures will be implemented during construction of this development to demonstrate how construction noise and dust will be managed/controlled onsite:-
 Noise + vibration
 Ground vibrations as a result of construction activities will not exceed the objectives of relevant legislation and construction activities will not cause nuisance due to 'unreasonable' levels of noise.
 • All construction work to take place as determined by local council restrictions and development consent conditions.
 • Noise monitoring will be undertaken if required by DA or if complaints are received due to unreasonable levels of noise in a noise sensitive area.
 • Only silenced air compressors with noise cables attached indicating L9A) maximum sound pressure level not exceeding 75-db will be used onsite. Any equipment exceeding this level will be taken out of service and repaired before operating onsite again.
 • During operation, if equipment is likely to cause excess vibration, it will be modified to vibration levels if required.
 • Rock breaking/blasting times will be limited to comply with DA conditions.
 • Ensure a dilapidation report is carried out, which will include the condition of existing buildings in the immediate precinct of the site and notes made, together with photographic record of existing conditions.
 • Assess items or adjoining properties that may be affected by construction activity and manage risk via monitoring or other method as determined by the site team members.
 • Where work outside of normal operation hours or vibration is likely for extended periods. Consideration will be given to implementing a notification plan for nearby residents.
 Dust control + air quality
 Control, minimise or avoid contaminant emissions to the atmosphere caused by rising dust, vehicle/plant emissions, noxious fumes/odours or paint spraying activities.
 • All construction plant and equipment with access to the site will be properly maintained.
 • Mufflers, plant and machinery will be in good working order
 • Equipment emitting visible smoke while operational onsite will be taken out of service and corrected to ensure smoke is no longer visible.
 • Trucks transporting materials on behalf of the builder such as; sand, soil, landscape material and gravel will have covered loads and tailgates secured.
 • Ensure paint spraying activities are not undertaken in adverse weather conditions.
 • There will be no incineration or open burning onsite of waste materials.
 • Prompt action will be taken to extinguish fires.
 • Water spray / dust retardant or seeding will be used on exposed areas to prevent dust lift off.



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 DIAL BEFORE YOU DIG
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IMPORTANT NOTE:
 The builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes unless issued for construction. This drawing reflects a design by AM Design Studio Pty Ltd and is to be used only for work when approved in writing by the contractor responsible for the construction of the project. Measurements on site and locations of any services prior to work on site. All documents here within are subject to Australian Copyright Law. Do not take off drawings. Refer to Architectural Plans. Verify dimensions on site. All works are to comply with the Building Code of Australia, all relevant Local Authorities, planning policies and zoning codes. All work to comply with Building Code of Australia, requirements of relevant Statutory Authorities & Local Government & relevant Australian Building Standards. Builder to ensure compliance with all Work Cover requirements. Check all finish data with a Structural Engineer and have all structural steelwork & concrete work designed by a Structural Engineer. Where proprietary products are referred to, install in accordance with the manufacturers written instructions. Check all dimensions on site prior to construction. If in doubt, check with architect. All discrepancies and omissions to be reported to Architect.

SCALE BAR 1:100

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

DEVELOPEMENT APPLICATION

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:
 - SECONDARY DWELLING

DRAWING TITLE: GENERAL NOTES & DETAILS	CLIENT DETAILS: Haydar Issa	PROJECT NUMBER: 2023-004
PROJECTION LOCATION: ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526		DATE: 02.01.2024
DRAWING NUMBER: A101		DRAWING NUMBER: A3

Description of project

Project address		Assessor details and thermal loads	
Project name	222 Old Kent Rd - Granny flat	Assessor number	n/a
Street address	222 Old Kent Road Greenacre 2190	Certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 19526	Area adjusted cooling load (MJ/m ² .year)	n/a
Lot no.	2	Area adjusted heating load (MJ/m ² .year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house - secondary dwelling	Project score	
No. of bedrooms	2	Water	40 Target 40
Site details		Thermal Comfort	Pass Target Pass
Site area (m ²)	588	Energy	55 Target 50
Roof area (m ²)	106		
Conditioned floor area (m ²)	45.0		
Unconditioned floor area (m ²)	5.0		
Total area of garden and lawn (m ²)	90		
Roof area (m ²) of the existing dwelling	105		
No. of bedrooms in the existing dwelling	3		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

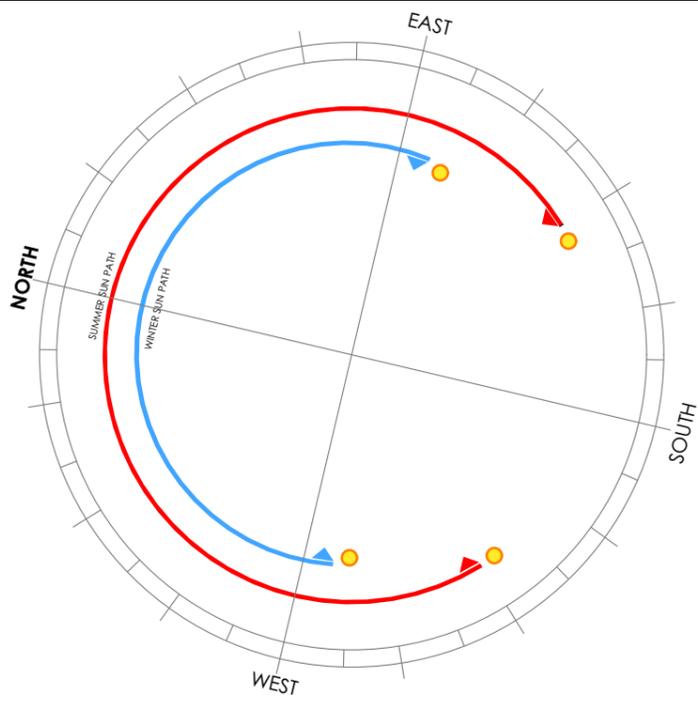
Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction		Additional insulation required (R-Value)	Other specifications
floor - suspended floor above enclosed subfloor, concrete		1.20 (or 1.8 including construction) (down)	
external wall - framed (weatherboard, fibre cement, metal clad)		3.00 (or 3.40 including construction)	
ceiling and roof - flat ceiling / pitched roof		ceiling: 5 (up), roof: foil/sarking	unventilated; medium (solar absorptance 0.475-0.70)
Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check																																																						
Windows, glazed doors and skylights																																																									
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓																																																						
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓																																																						
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓																																																						
• For the following glass and frame types, the certifier check can be performed by visual inspection.	✓	✓	✓																																																						
• Aluminium single clear			✓																																																						
• Aluminium double (air) clear			✓																																																						
• Timber/uPVC/fibreglass single clear			✓																																																						
• Timber/uPVC/fibreglass double (air) clear			✓																																																						
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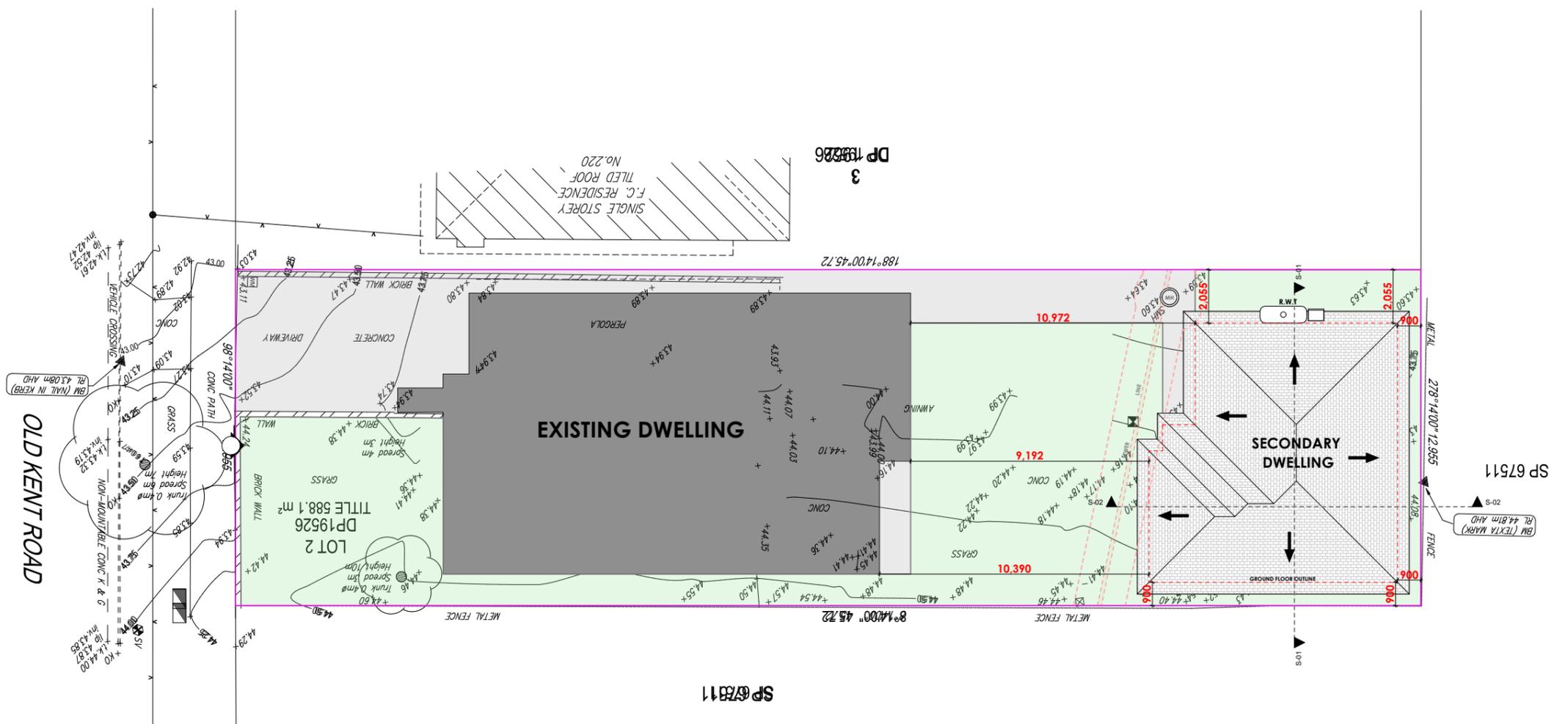
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 6 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 6 Star (old label)		✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 3 of the bedrooms / study; dedicated		✓	✓
• at least 1 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



COMPLIANCE TABLE		
CONTROL	REQUIRED	PROPOSED
SITE AREA (m ²)	450m ² min	588.1m ²
GROSS FLOOR AREA	0.5:1 (294.05m ²)	Existing - 141.15m ² Secondary - 60m ² Total - 201.15m²
LANDSCAPE AREA	45% front of building line 103.86 x 45= 46.737m ²	56.81m ²
PRIVATE OPEN SPACE	80m ² min 5m throughout	80m ²
FRONT SETBACK	5.5m min	35.3m
SIDE SETBACK	min 0.9m	0.9m
REAR SETBACK	min 0.9m	0.9m
BUILDING HEIGHT	9.0m	4.65m



SITE, ROOF, ANALYSIS PLAN
1:200



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SCALE BAR 1:100

DEVELOPMENT APPLICATION

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:
- SECONDARY DWELLING

DRAWING TITLE:
SITE, ROOF, ANALYSIS PLAN

CLIENT DETAILS:
Haydar Issa

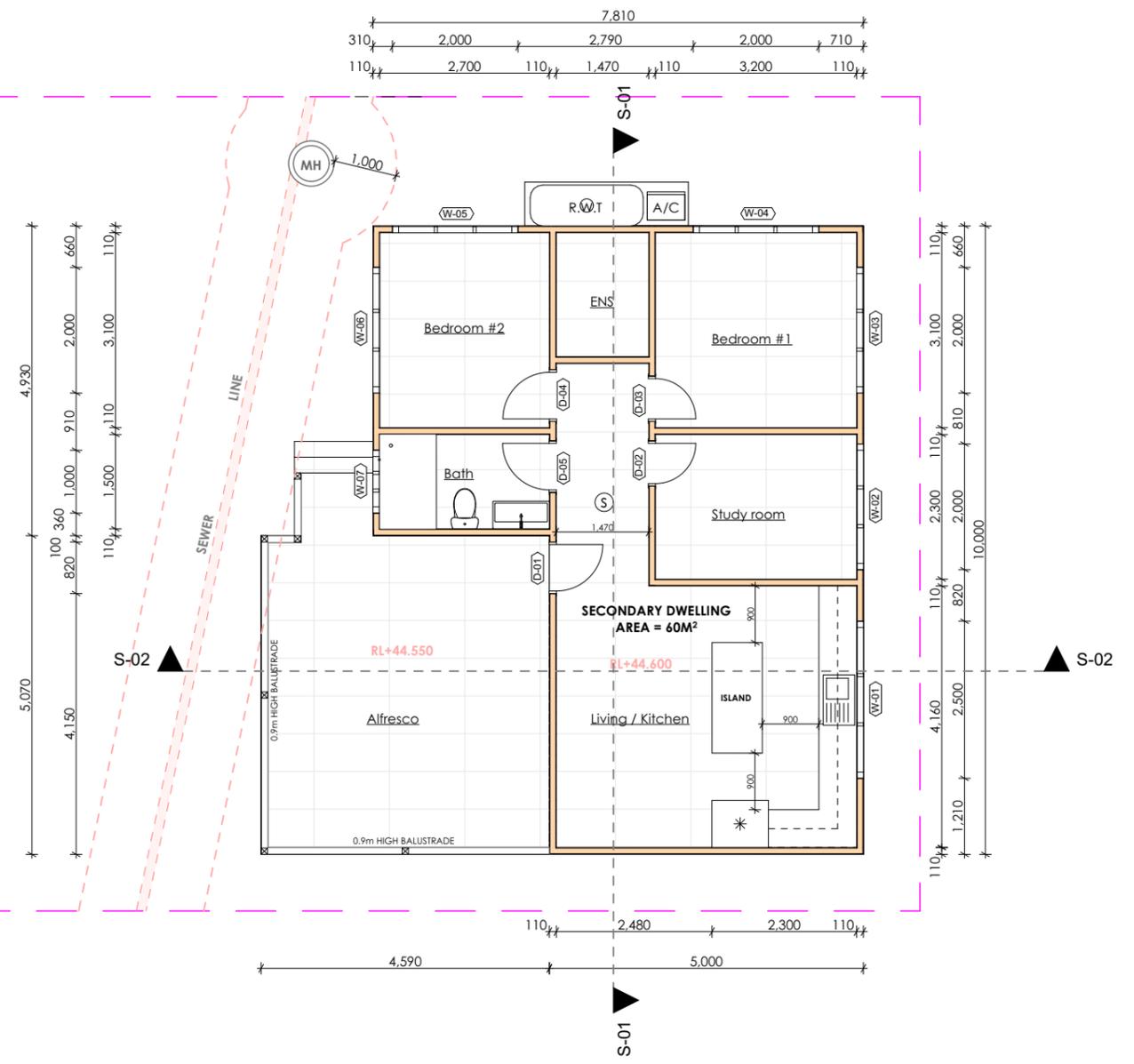
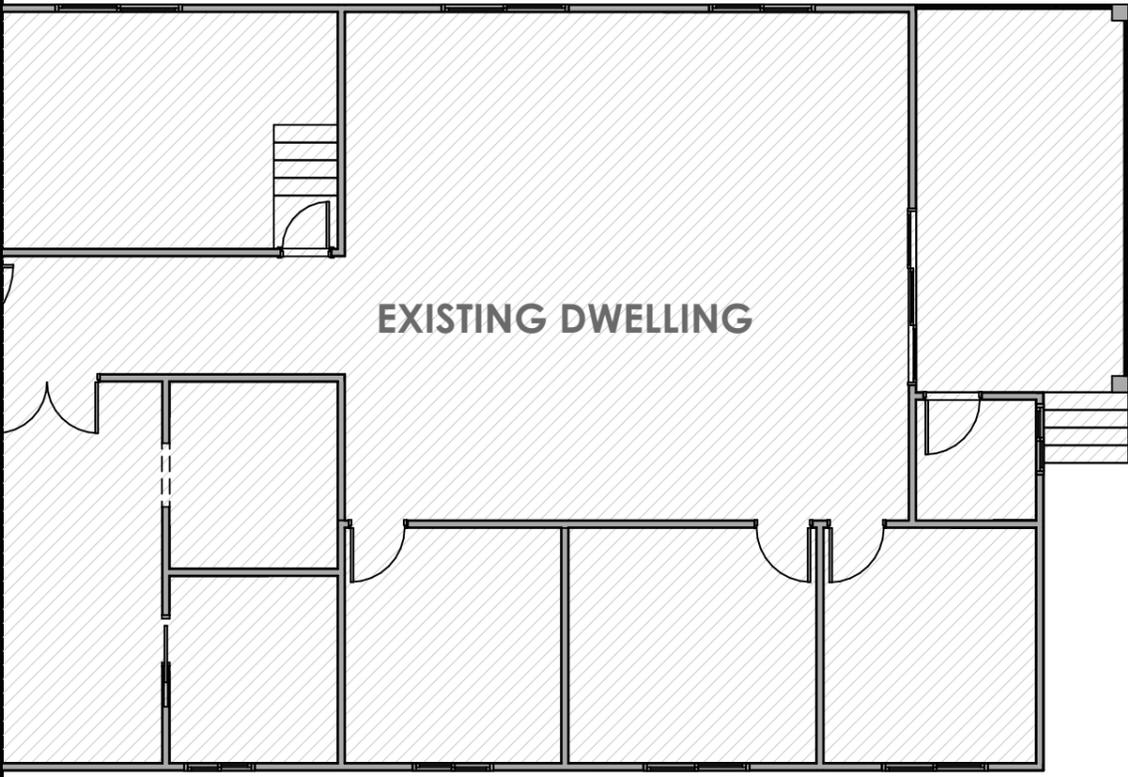
PROJECT LOCATION:
ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW
LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526

PROJECT NUMBER:
2023-004

DATE:
02.01.2024

DRAWING NUMBER:
A103





Door Schedule

Element ID	Quantity	W x H Size
D-01	1	820×2,100
D-02	1	720×2,100
D-03	1	720×2,100
D-04	1	820×2,100
D-05	1	820×2,100

Window Schedule

Element ID	Quantity	W x H Size
W-01	1	2,500×600
W-02	1	2,000×1,500
W-03	1	2,000×1,500
W-04	1	2,000×1,500
W-05	1	2,000×1,500
W-06	1	2,000×1,500
W-07	1	1,000×600

GROUND FLOOR LVL
1:100

AHMAD EL-MOUBAYED

(+61) 0421 113 616

INFO@AMDESIGNSTUDIO.COM.AU

ACCREDITED BUILDING DESIGNER

IMPORTANT NOTE:
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SCALE BAR 1:100

DEVELOPMENT APPLICATION

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:

- SECONDARY DWELLING

DRAWING TITLE:
GROUND FLOOR PLAN

CLIENT DETAILS:
Haydar Issa

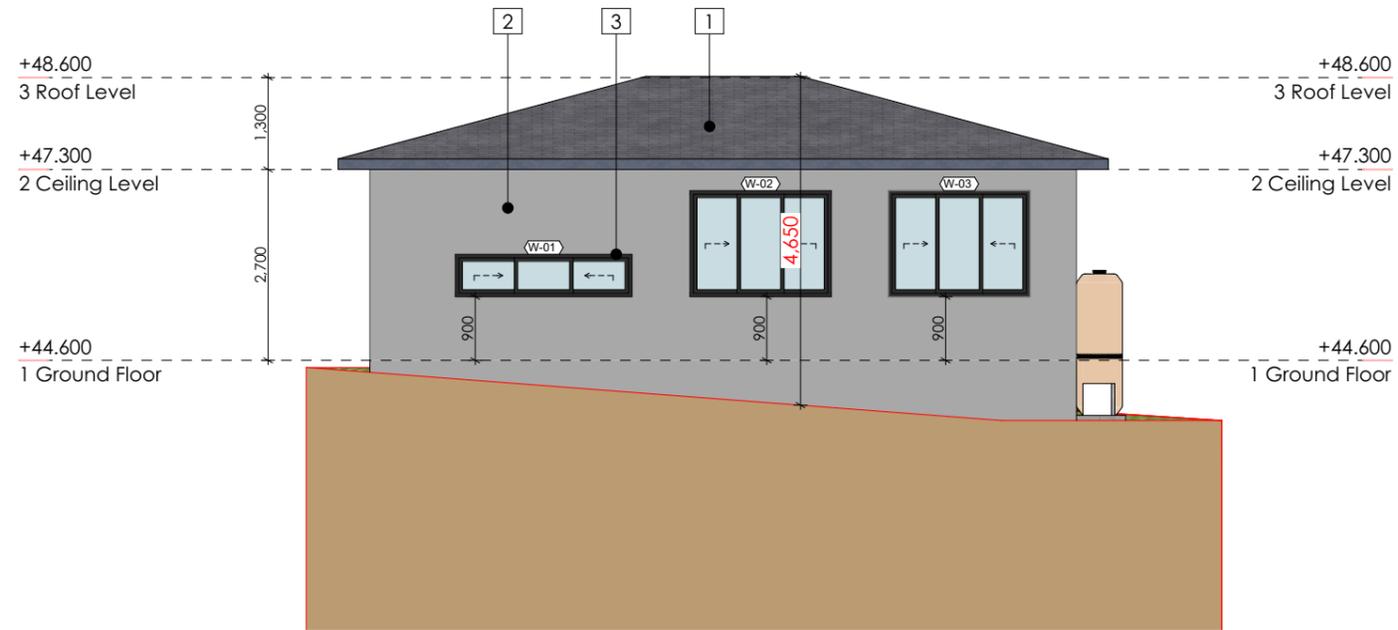
PROJECTION LOCATION:
ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW
LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526

PROJECT NUMBER:
2023-004

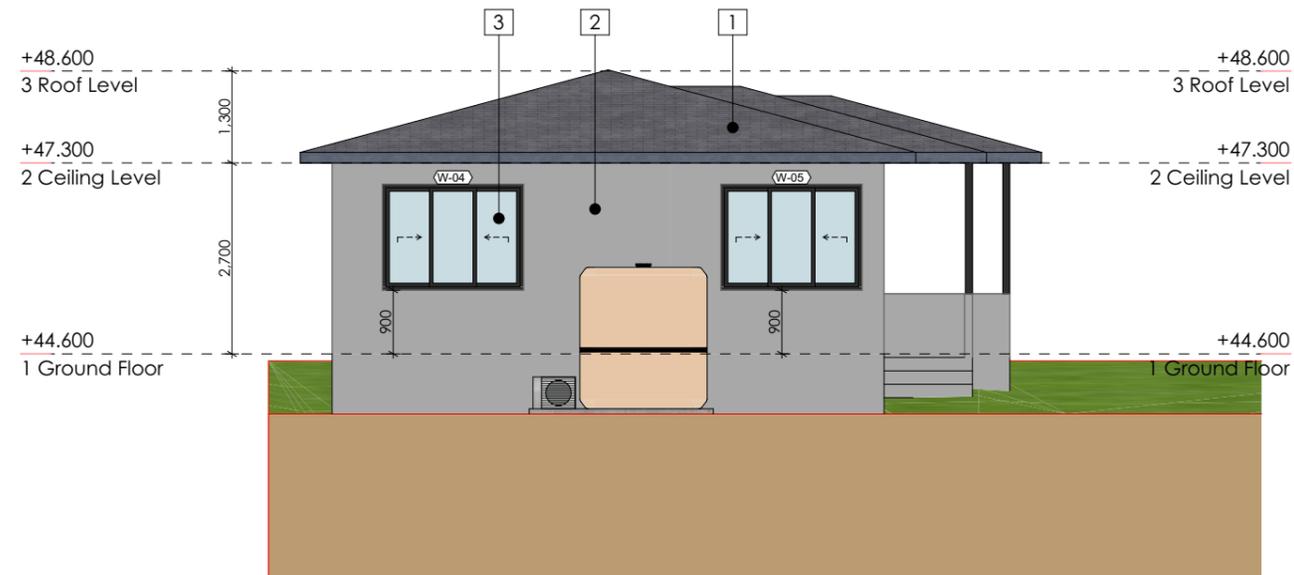
DATE:
02.01.2024

DRAWING NUMBER:
A104

A3



SIDE ELEVATION (NORTH)
1:100



FRONT ELEVATION (EAST)
1:100

LEGEND	
1	TITLED ROOF AT 15° PITCH
2	TIMBER STUD WALL TO BE RENDERED
3	ALUMINIUM FRAMED WINDOW

NOTES:
 METAL ROOFING TO BE IN ACCORDANCE WITH AS1562.1
 BALUSTRADES TO BE IN ACCORDANCE WITH AS1428.1-2009
 TRANSLUCENT GLASS TO BE INDICATED BY:
 GLASS TO BE IN ACCORDANCE WITH AS1288.1-2006

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SCALE BAR 1:100
 0 1 2 3 4 5
DEVELOPMENT APPLICATION

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

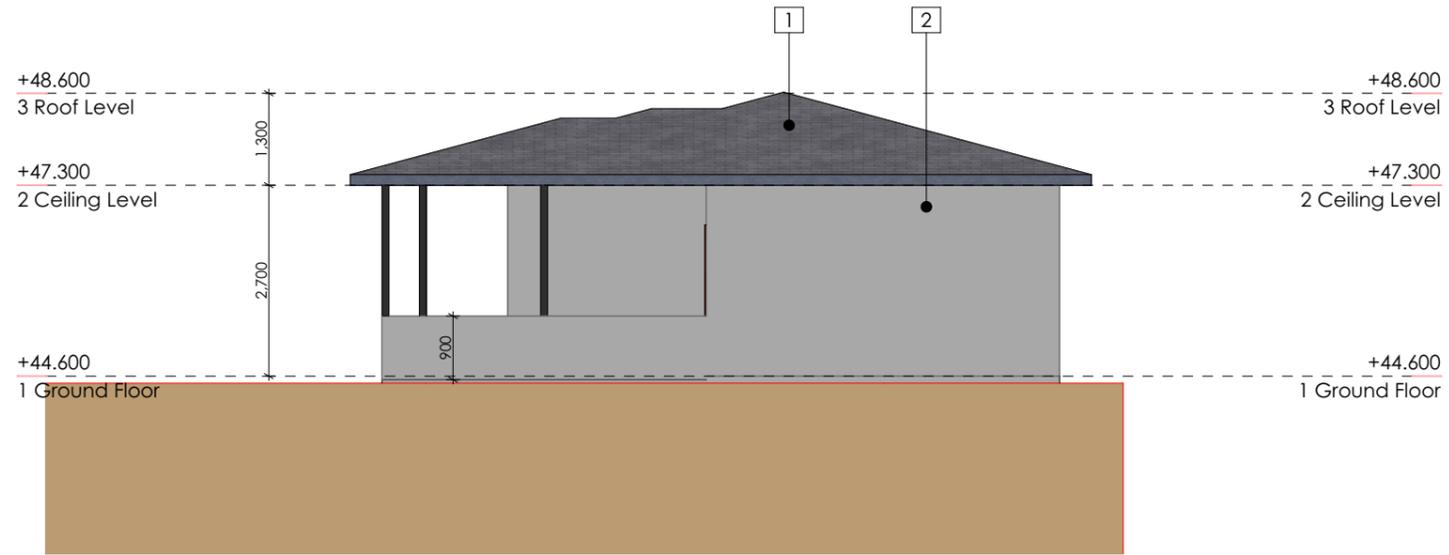
PROJECT DESCRIPTION:
 - SECONDARY DWELLING

DRAWING TITLE:
ELEVATION PAGE 1

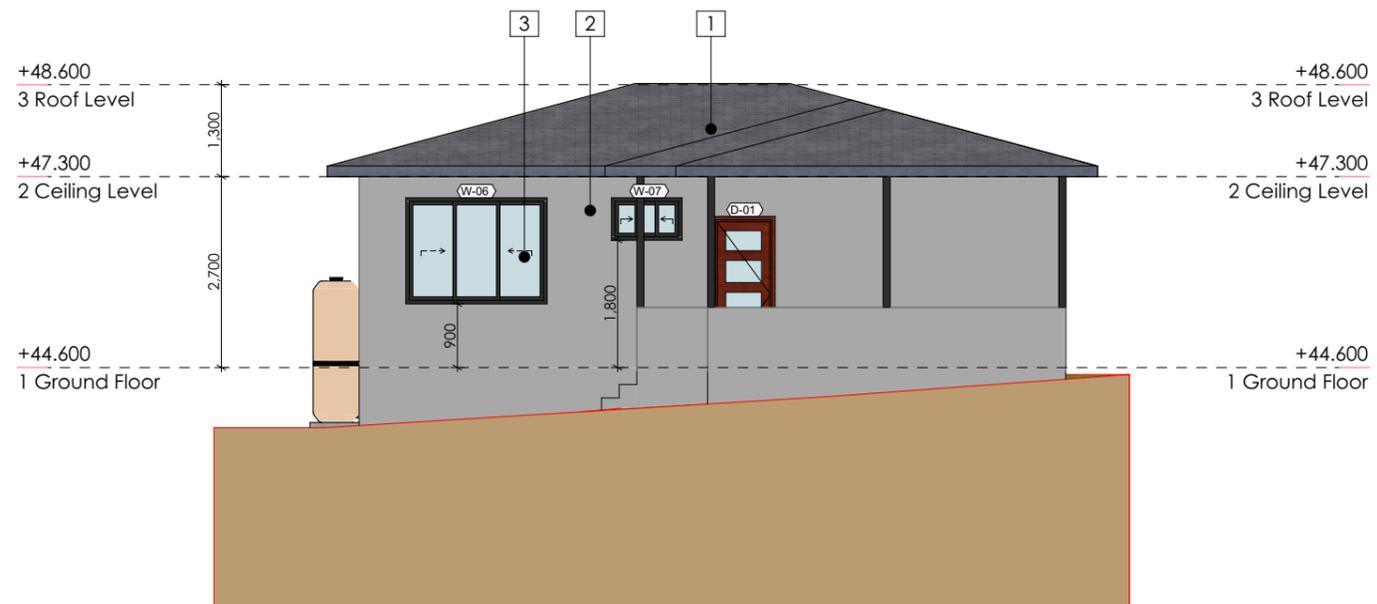
CLIENT DETAILS:
 Haydar Issa

PROJECT NUMBER:
 2023-004
 DATE:
 02.01.2024
 DRAWING NUMBER:
A105

A3



SIDE ELEVATION (SOUTH)
1:100



REAR ELEVATION (WEST)
1:100

LEGEND	
1	TITLED ROOF AT 15° PITCH
2	TIMBER STUD WALL TO BE RENDERED
3	ALUMINIUM FRAMED WINDOW

NOTES:
 METAL ROOFING TO BE IN ACCORDANCE WITH AS1562.1
 BALUSTRADES TO BE IN ACCORDANCE WITH AS1428.1-2009
 TRANSLUCENT GLASS TO BE INDICATED BY:
 GLASS TO BE IN ACCORDANCE WITH AS1288.1-2006

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SCALE BAR 1:100

DEVELOPMENT APPLICATION

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:
 - SECONDARY DWELLING

DRAWING TITLE:
ELEVATION PAGE 2

CLIENT DETAILS:
 Haydar Issa

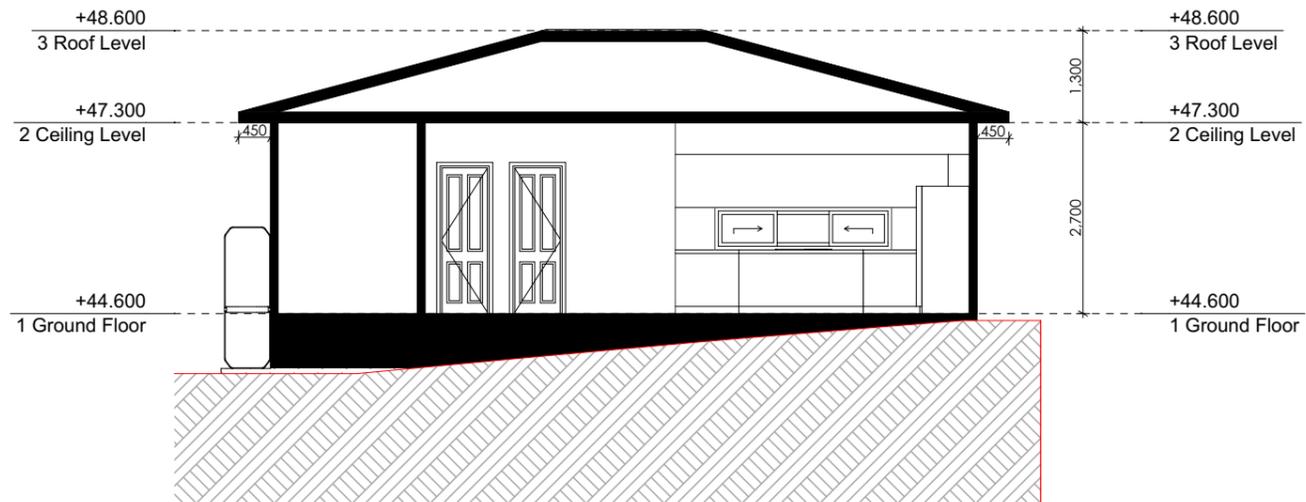
PROJECT LOCATION:
 ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW
 LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526

PROJECT NUMBER:
2023-004

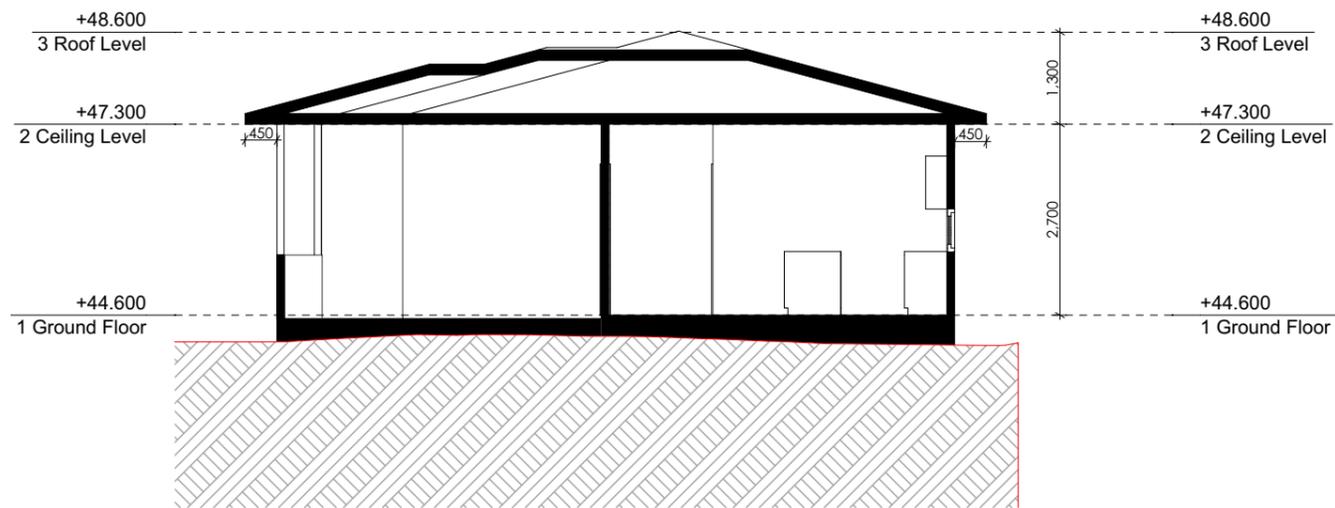
DATE:
02.01.2024

DRAWING NUMBER:
A106

A3



LONG SECTION
1:100



STAIR SECTION

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:

- SECONDARY DWELLING

DRAWING TITLE:

SECTION

PROJECTION LOCATION:
ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW
LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526

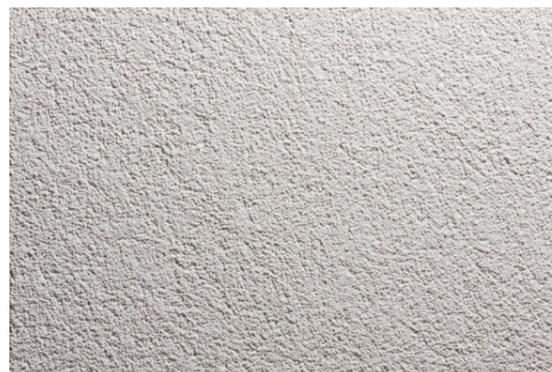
CLIENT DETAILS:

Haydar Issa

PROJECT NUMBER:
2023-004

DATE:
02.01.2024

DRAWING NUMBER:
A107



01 - GREY RENDER TO MATCH PRIMARY DWELLING



02 - BLACK ALUMINIUM FRAMED



03 - TIMBER ENTRY DOOR



04 - BLACK TILED ROOF

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:
 - SECONDARY DWELLING

DRAWING TITLE: SCHEDULE OF FINISHES	CLIENT DETAILS: Haydar Issa
PROJECT LOCATION: ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526	

PROJECT NUMBER: 2023-004
DATE: 02.01.2024
DRAWING NUMBER: A108



DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:

- SECONDARY DWELLING

DRAWING TITLE: 3D MODEL VIEW	CLIENT DETAILS: Haydar Issa
PROJECTION LOCATION: ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526	

PROJECT NUMBER: 2023-004
DATE: 02.01.2024
DRAWING NUMBER: A109